

Flathead County

Planning & Zoning

1035 1st Ave W, Kalispell, MT 59901
Telephone 406.751.8200 Fax 406.751.8210

CONDITIONAL USE PERMIT APPLICATION¹

Submit this application, all required information, and appropriate fee (see current fee schedule) to the Planning & Zoning office at the address listed above.

FEE ATTACHED \$ 700.00

PROPOSED USE (as described in the Flathead County Zoning Regulations):

The applicant, Kalispell Seventh-Day Adventists, would like to build a church building on a vacant tract of land zoned AG-80 in the West Valley area. They must secure the CUP before they can purchase the property.

OWNER(S) OF RECORD:

Name: Cindy Marvin Phone: _____

Mailing Address: 290 West Valley Drive

City, State, Zip Code: Kalispell, MT 59901

Email: _____

PERSON(S) AUTHORIZED TO REPRESENT THE OWNER(S) AND TO WHOM ALL CORRESPONDENCE IS TO BE SENT:

Name: Sands Surveying, Inc., C/o Erica Wirtala Phone: 406/755-6481

Mailing Address: 2 Village Loop

City, State, Zip Code: Kalispell, MT 59901

Email: erica@sandssurveying.com

LEGAL DESCRIPTION OF PROPERTY (Refer to Property Records):

Street
Address: Not addressed at this time S 26 T 29N R 22W

Subdivision
Name: None Tract No(s). 6CA Lot No(s). _____ Block No. _____

1. **Zoning District and Zoning Classification in which use is proposed (EXAMPLE: Bigfork Zoning District, SAG-5 zoning classification):**

The property is zoned AG-80 in the West Valley Overlay.

2. **Explain how the proposed use meets all of the required criteria below. ALL CRITERIA MUST BE DISCUSSED. If criteria are not applicable, please explain why. Attach drawings, additional text, site plans, and any other documents that will assist staff in reviewing the proposed use. The more information you can provide, the easier it is for staff to review the application. Please discuss:**

¹ Revised: 06/11/12



A. Site Suitability.

The site is suitable for the use. This includes:

- (1) adequate usable space

See attached sheet for additional information.

- (2) adequate access

See attached sheet for additional information.

- (3) absence of environmental constraints

See attached sheet for additional information.

B. Appropriateness of Design.

The site plan for the proposed use will provide the most convenient and functional use of lot. Consideration of design should include:

- (1) parking scheme

See attached site plan and text.

- (2) traffic circulation

See attached site plan and text.

- (3) open space

See attached site plan and text.

- (4) fencing, screening

See attached site plan and text.



- (5) landscaping

See attached site plan and text.

- (6) signage

See attached site plan and text.

- (7) lighting

See attached site plan and text.

C. Availability of Public Services and Facilities

The following services and facilities are to be available and adequate to serve the needs of the use as designed and proposed:

- (1) sewer

There will be an engineered on-site septic system designed and constructed to accommodate the facility.

- (2) water

A private well will be drilled on the property for use of the building and associated irrigation.

- (3) storm water drainage

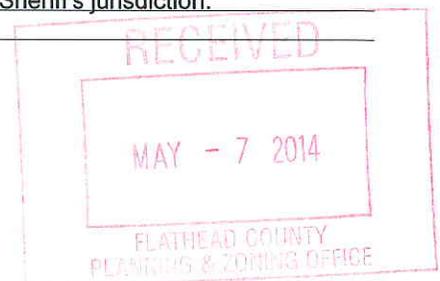
Storm water drainage will be contained on-site. An engineered public septic system is being designed to be approved by the Montana Department of Environmental Quality. Storm water run-off will be a component of this submittal.

- (4) fire protection

The subject property is within the West Valley Volunteer Fire Department's jurisdictional boundaries.

- (5) police protection

The subject property is within the Flathead County Sheriff's jurisdiction.



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- (6) streets

The applicant will apply to the Montana Department of Transportation for an approach from West Reserve Drive as well as the Flathead County Road and Bridge for an approach permit utilizing West Springcreek Drive.

D. Immediate Neighborhood Impact

The proposed use will not be detrimental to surrounding neighborhoods in general. Typical negative impacts which extend beyond the proposed site include:

- (1) excessive traffic generation

See attached sheet for additional information.

- (2) noise or vibration

There is no noise or vibration associated with this proposal.

- (3) dust, glare or heat

There is no excessive dust, glare or heat associated with this proposal.

- (4) smoke, fumes, gas, or odors

There are no anticipated smoke, fumes, gas or odors associated with this proposal.

- (5) inappropriate hours of operation

See attached sheet for additional information.

3. The following proposed uses shall meet additional requirements, known as "Conditional Use Standards" as outlined in Chapter 4 the Flathead County Zoning Regulations and require consultation with a staff planner PRIOR to application submittal:

- 4.01 Animal Hospitals, Kennels, Animal Shelters, Veterinary Clinics
- 4.02 Bed and Breakfast Establishments/Boarding Houses
- 4.03 Camp or Retreat Center
- 4.04 Caretaker's Facility in AG, SAG, and R-1 Districts
- 4.05 Cluster Housing Development in Residential Districts



- 4.06 Commercial Caretaker's Facility in B-2, B-3, I-1, I-1H, and I-2 Districts
- 4.07 Contractors Storage Yard in AG and SAG Districts
- 4.08 Day Care Centers- 13 or More Individuals
- 4.09 Electrical Distribution Stations
- 4.10 Extractive Industries
- 4.11 Family Hardship Dwellings
- 4.12 Manufactured Home Parks
- 4.13 Mini-Storage, Recreational Vehicle Storage
- 4.14 Motor Coach Subdivisions
- 4.15 Recreational Facilities (see also 7.17.040)
- 4.16 Temporary Uses

Church and other place of worship

Consultation with Planner:

Date 4-30-14 Planner's Signature *[Signature]*

INSTRUCTIONS FOR CONDITIONAL USE PERMIT APPLICATION:

1. Answer all questions. Answers should be clear and contain all the necessary information.
2. In answering question 1, refer to the classification system in the Zoning Regulations.
3. In answering questions 2 and 3, be specific and complete. Please use a separate sheet of paper to discuss the appropriate topics.
4. Copy of plot plan/site plan must be submitted with each application, with all existing or proposed structures shown, and distances from each other and from the property line. *If you are submitting a plan larger than 11x17 in size, please include 7 copies.*
5. A **Certified** Adjoining Property Owners List must be submitted with the application (*see forms below*). The list will be sent directly to the Planning & Zoning office, unless you request otherwise. This list is valid for a period of 6 months from date generated. You may also get a certified adjoining landowners list from a title company if you choose.
 - *(The buffer should be 150 ft. for all areas with the following exceptions: Administrative Conditional Use Permits, standard Conditional Use Permits, and Planned Unit Development (PUD) applications within the Lakeside Zoning District require a 300 ft. buffer.)*



I hereby certify under penalty of perjury and the laws of the State of Montana that the information submitted herein, on all other submitted forms, documents, plans or any other information submitted as a part of this application, to be true, complete, and accurate to the best of my knowledge. Should any information or representation submitted in connection with this application be incorrect or untrue, I understand that any approval based thereon may be rescinded and other appropriate action taken. The signing of this application signifies approval for the Flathead County Planning & Zoning staff to be present on the property for routine monitoring and inspection during the approval and development process.

[Signature]
Owner(s) Signature (all owners must sign)

4/23/14
Date

[Signature]
Applicant Signature (if different than above)

4/25/14
Date

ADDENDUM FOR CONDITIONAL USE APPLICATION (SEVENTH-DAY ADVENTISTS)

A. Site Suitability.

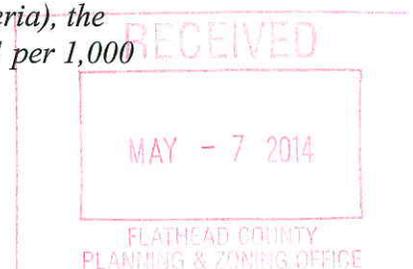
The site is suitable for the use. This includes:

- (1) *adequate usable space: The subject property is 19.495 acres in size. The applicants propose to construct a church approximately 12,000 square feet in size with associated parking and landscape areas. There will also be two small outbuildings for storage purposes. As the site is completely free from trees or shrubby vegetation, with generally flat topography, it appears as though there is more than adequate room for a building this size on the property.*
- (2) *Adequate access: The property has direct access to West Reserve Drive, a paved, State-secondary highway. It also has direct access to West Springcreek Drive, a County gravel road. The applicant has been working with both the Flathead County Road and Bridge department and the Montana Department of Transportation to secure approach locations and permits.*
- (3) *Absence of environmental constraints: The property is currently vacant. It has been in agricultural production for grains for many years. It is generally flat with good soils. There are no water features located on the property. It is not considered to be viable wildlife habitat, critical winter range, wetlands or contain any tree cover. There are no threats from avalanche or floods.*

B. Appropriateness of Design.

The site plan for the proposed use will provide the most convenient and functional use of the lot. Consideration of design should include:

- (1) *parking scheme: See the attached site plan for the proposed parking lot layout. At this time, the applicant is not paving the parking lots, but would utilize a compressed gravel surface. The parking lots would contain concrete curbstops to indicate individual parking spaces.*
- (2) *Traffic circulation: The main entryway to the church would be from West Reserve Road. The approach apron would be paved. Secondary ingress/egress would be available from West Springcreek Road. It is assumed that as West Springcreek is a gravel road that the approach to that road would also be gravel. Both approaches would most likely be required to install culverts. From the ITE (an index that calculates the number of vehicle trips per day based on use-specific criteria), the estimated vehicle trips per church service is based on 9.11 per 1,000*



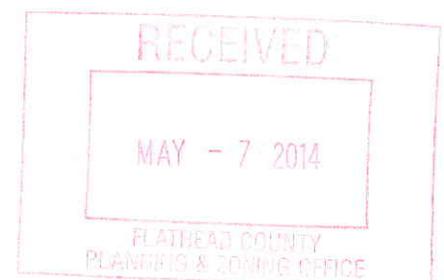
square foot of Gross Floor area. As the proposed building will be approximately 12,000 square feet, it could be calculated that 9.11 x 12 would be 109.32 vehicle trips per church service.

- (3) *Open Space: There is only one large building with two smaller storage buildings proposed for the subject property. Landscaping and parking will fill a portion of the property immediately surrounding the main building, but the remainder of the land will remain "open".*
- (4) *Fencing, screening: None are proposed at this time.*
- (5) *Landscaping: Please refer to the attached site plan for landscaping specifics.*
- (6) *Signage: As allowed by zoning regulations, the signage must comply with the underlying zoning designation. As per the AG-80 zone, a sign of 40 square feet would be allowed. It is anticipated that the main building structure would be free from signage, but there would be an entry monument with 4' x 5' of text/symbols on each side. Spotlighting of the text would be an integral part of the sign (either uplighting or downlighting, but specific to the sign).*
- (7) *Lighting: There will be some security lighting around the doorways and building perimeter, some downward (Dark Skies compliant) parking lot lighting and some small-scale lighting at the entry sign are all that are being proposed. The parking lot lighting will most likely be set on a timer to a specific day and time for energy efficiency. Security lighting may be motion-sensor lighting in some places.*

C. Availability of Public Services and Facilities:

The following services and facilities are to be available and adequate to serve the needs of the use as designed and proposed:

- (1) *Sewer: Due to the number of people utilizing the facility, (based on a square footage calculation) a public, engineered septic system will be designed and constructed. Prior to construction, the design must be approved by the Montana Department of Environmental Quality.*
- (2) *Water: A private well will be drilled on the property for use of the building and associated irrigation. Water is plentiful in this area and it is not anticipated to be problematic to find an abundant supply.*
- (3) *Storm Water Drainage: Storm water drainage will be contained on-site. An engineered septic system is being designed, which will be reviewed and approved by the Montana Department of Environmental Quality. Storm water run-off will be a component of this submittal.*
- (4) *Fire Protection: The subject property is within the West Valley Volunteer Fire Department's jurisdiction. As the property is void of vegetation, there is minimal threat of wildfire. The building will be required to have internal sprinkler and fire alarm systems.*



- (5) Police Protection: *The subject property is within the Flathead County Sheriff's jurisdiction. Churches typically have a low rate of police protection.*
- (6) Streets: *The applicant will apply to the Montana Department of Transportation for an approach onto West Reserve Drive as well as Flathead County Road and Bridge for an approach permit utilizing West Springcreek Drive.*

D. Immediate Neighborhood Impact

The proposed use will not be detrimental to surrounding neighborhoods in general. Typical negative impacts which extend beyond the proposed site include:

- (1) Excessive traffic generation: *Services at the facility are held on Saturday mornings starting at approximately 9 am and typically winding up about 1 pm. On some occasions there will be a Fellowship Meal, which would be a continuation of the morning services, and end at 3 pm. There are also Friday evening Vesper Services beginning at sundown. As with many churches, there are prayer meetings on Wednesday evenings.*
- (2) Noise or vibration: *There is no excess noise or vibration associated with this proposal.*
- (3) Dust, glare or heat: *There is no excessive dust, glare or heat associated with this proposal.*
- (4) Smoke, fumes, gas or odors: *There is no smoke, fumes, gas or odors associated with this proposal.*
- (5) Inappropriate hours of operation: *As noted above in the traffic generation discussion, the hours of operation are from 8-8 on Saturdays, intermittent Sunday daytime hours and early evening hours on Wednesdays. One or two employees may do office work during business hours throughout the work week. There are no anticipated late night or early morning activities.*

