

## Appendix A

# Providence Home Project Description and Site Plan

February 26, 2014



Flathead County Commissioners  
Pam Holmquist, Chairperson  
800 South Main, Room 302  
Kalispell, MT 59901-5420

Dear Commissioners,

On behalf of the Board of Directors of Intermountain and the hundreds of children, youth, and families that we serve annually throughout the Flathead Valley, thank you once again for your partnership and commitment to Intermountain's Providence Home project. This letter is to clarify the specific size and scope of the project in response to discrepancies noted in project documents and to identify modifications and additions made to Flathead County's Environmental Assessment of the Providence Home project.

### **Organizational Information**

As some background, Intermountain is a 103-year-old multi-service organization founded in Helena, Montana, that annually serves more than 1,300 children and families through a diverse array of more than a dozen integrated, clinically sound, compassionate services for children and families struggling with emotional disturbance and mental health issues. It has grown from serving just the Helena-area to maintaining service sites in Helena, Great Falls, Butte, Missoula, and Kalispell that, in turn, reach the surrounding towns around each service site. Intermountain's mission is "*Healing through Healthy Relationships*" and the primacy of healthy relationships throughout a child's life is central to the organization's time-tested therapeutic approach to treatment.

Intermountain began serving the Flathead Valley when it opened Providence Home in a leased facility in 2009. Since that time, Intermountain has added and diversified its services to children and families to include outpatient individual and family therapy, in-home family-based services, and full family foster care. The combined weight of these services has enabled Intermountain to serve more than 180 children and families each year throughout the Flathead Valley, the vast majority of which are served out in the community without having to be placed into residential treatment at Providence Home.

### **Project Description**

Unfortunately, the need for longer-term residential care does exist in the Flathead Valley, and Providence Home stands poised to meet that need. Providence Home is Intermountain's most intensive service being offered in the Flathead Valley, and children are placed in Providence Home only after all community-based support services have been exhausted. Providence Home is a facility focusing on assessment and stabilization of children, ages four to 14, in need of immediate treatment of moderate to severe emotional distress. Length of stay for these children averages about eight months.

Since the beginning, Intermountain has viewed Providence Home as a place of solace for children in the midst of turmoil. It is a place of safety, security, hope and healing, and it is a place true to its name. Webster's Dictionary defines "providence" as "divine guidance or care," and since its inception, Providence Home has remained true to the call of Intermountain's founder, who in 1909 founded the organization with the words, "Under God, brethren, we cannot continue to allow the suffering of children to go unchallenged."

As a place of solace and security, Intermountain has planned to place Providence Home in the southwest quadrant of its 75-acre property, offering sufficient open space between the facility and neighboring homes.

500 S. Lamborn St. · Helena, MT 59601  
Office: (406) 442-7920 · (800) 200-9112 · Fax: (406) 442-7949

[www.intermountain.org](http://www.intermountain.org)



The Joint Commission

This rural setting provides the therapeutic benefit to the children of an enhanced perception of security and provides Intermountain's neighbors with fewer disruptions from the facility's lighting or activities.

Providence Home is designed as a single facility that will be licensed by the state of Montana as a therapeutic youth group home. It will contain nine-bedrooms, three of which are sized for double occupancy, bringing the total potential capacity of Providence Home to 12 children.

However, current state licensing caps the capacity for any single therapeutic youth group home at eight children. Knowing that state regulations and best practices regarding treatment of children are constantly evolving, Intermountain has designed Providence Home with additional capacity to accommodate more children (up to 12) if those regulations are changed.

Outside of the residents of Providence Home, other individuals will be present at the facility on a regular basis. Professional staffing of the facility varies throughout the average day from a low of one awake-staff at night while children are sleeping to as many as five staff during the peak hours of the day. Additionally, parents and siblings of the children occasionally visit Providence Home for meetings and visitation.

It is also important to clarify that aside from Providence Home, Intermountain's Board of Directors has no identifiable plans for additional future development on its 75-acre property. This project has evolved from the original preliminary architectural report (PAR) in September 2011 to current design documents. The original PAR called for an emergency shelter with a capacity of up to 17 children. However, due to requests from local officials and the documented demand for a higher level of residential treatment for children and youth in the Flathead Valley, the current design of Providence Home is for a smaller therapeutic youth group home. This allows Intermountain to provide children throughout the Flathead Valley with greater therapeutic care and more enduring outcomes.

Earlier conceptual renderings showed additional structures – such as a schoolhouse and administrative office – and a space that could be used for additional development. However, these early conceptual renderings were created for no other reason than to provide perspective and context regarding how a future “campus” might appear surrounding the current Providence Home project. Intermountain has no plans for development on the property beyond the aforementioned Providence Home.

As the needs and demands of emotionally traumatized children are constantly evolving, it is impossible to state unequivocally that the organization will never add development to its property, but as of right now, the organization has no plan or desire to add additional facilities.

As noted above, Providence Home has been envisioned as a place of solace and a place that children can call home, not as the hub of Intermountain's services in the Flathead Valley. Intermountain's array of community services will remain where they are – in the community – and Providence Home will remain set apart as a quiet place of refuge and healing for Flathead County children.

### **Modifications to Project and to Environmental Assessment**

After publishing its notice of a Finding of No Significant Impact and Notice to Public of Request for Release of CDBG Funds, Flathead County received written public comment from multiple organizations and individuals. Both Intermountain and Flathead County are appreciative of the public's diligence regarding the Providence Home project and have made significant modifications and clarifications to its Environmental Assessment in response to the public comments received.

A shared comment made by all commenting parties pertains to Providence Home's proximity to the Blasdel Wildfowl Production Area (WPA) that borders much of Intermountain's southern and western property boundaries. Despite no regulatory requirement that Providence Home be set back a certain distance from the WPA, the public stated that potential issues could arise between Intermountain and hunters/recreationists given Providence Home's current proximity to the WPA and that the building envelope should be moved further north and east to provide at least a 300 foot buffer between the WPA and the project's building envelope. Intermountain has reviewed and analyzed this suggestion and has voluntarily reengineered the building envelope of Providence Home to provide a 325-foot setback from the borders of the WPA. No fencing will be erected as part of the scope of the Providence Home project. Appendix A of the current Environmental Assessment has been revised to detail the new building envelope of Providence Home.

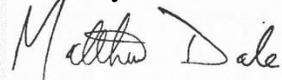
The public also commented on what they perceive as lack of detail/analysis regarding various components of the Environmental Assessment. In response to these comments, Intermountain and Flathead County have revised the Exhibit 2-M Consolidated Environmental Assessment Form to provide a more detailed discussion of the following sections:

- Groundwater Resources & Aquifer
- Surface Water/Water Quality, Quantity & Distribution
- Wetlands Protection
- Vegetation & Wildlife Species & Habitats, including Fish
- Wastewater – Sewage System
- Storm water
- Community Water Supply

Another comment received from the public pertains to a perceived lack of consideration of cumulative impacts within the Environmental Assessment. In response, Intermountain and Flathead County have created a separate section outside the Exhibit 2-M Consolidated Environmental Assessment Form to analyze the significance of any and all identified cumulative impacts of the Providence Home project (See Appendix E of the current Environmental Assessment).

Once again, thank you for your committed partnership in services to children and families in crisis throughout the Flathead Valley. Through your efforts, we are beginning to move the needle on the pressing issues of relational poverty, childhood trauma, and mental and emotional health.

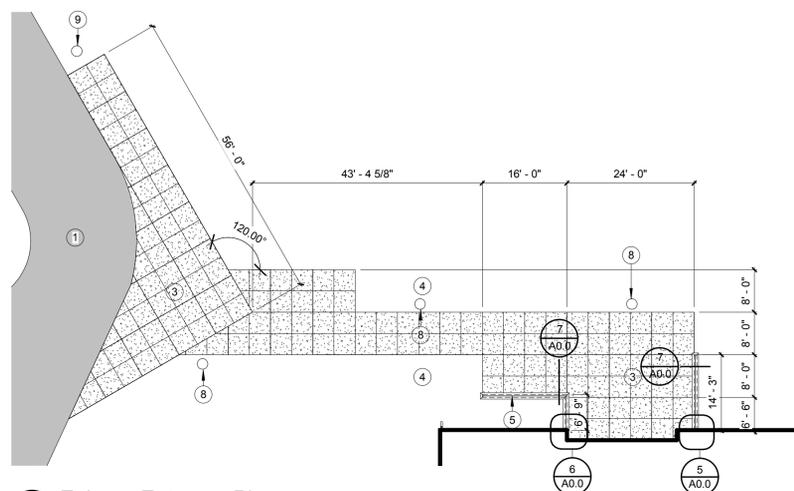
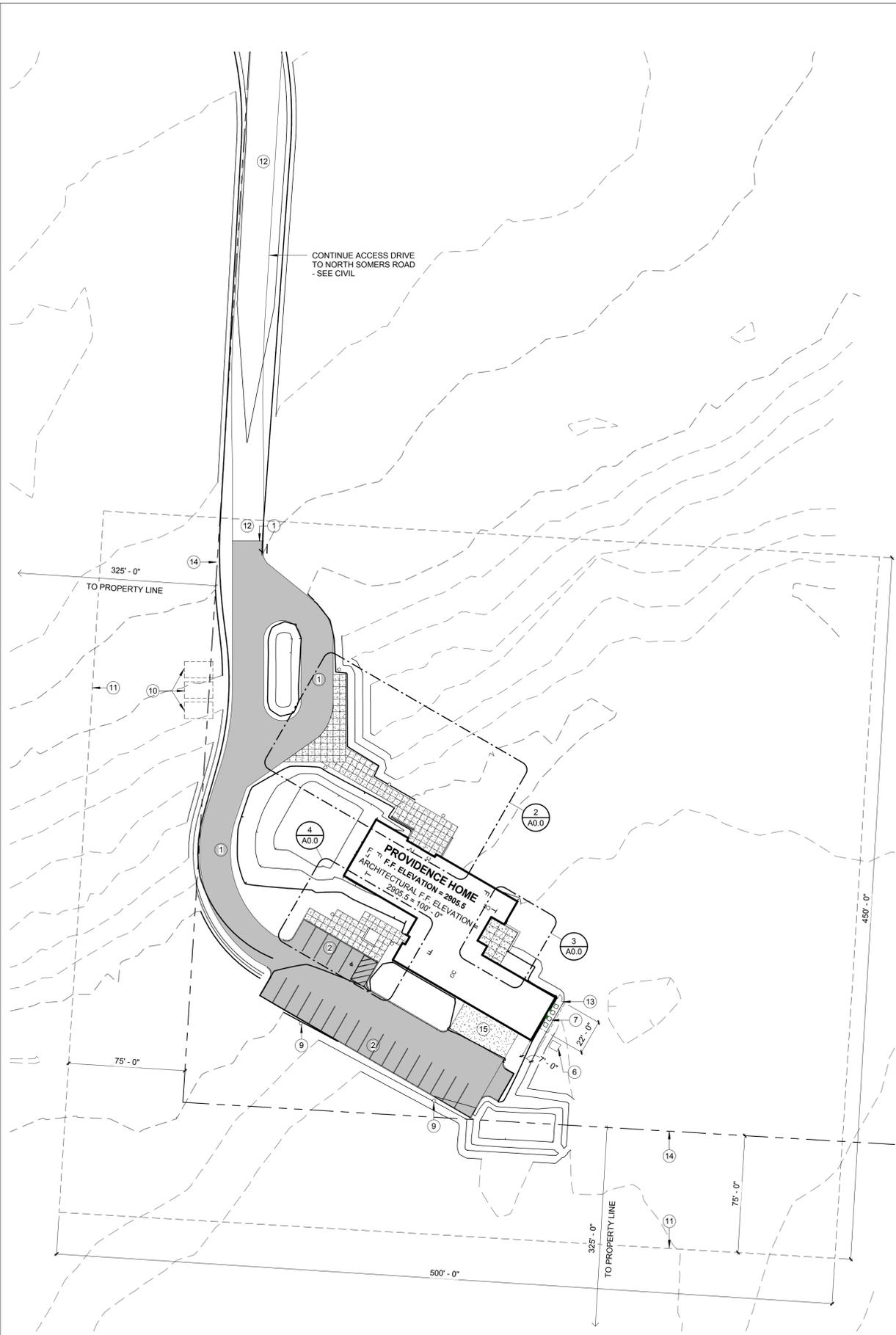
Sincerely,



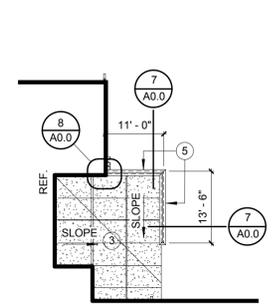
Matthew Dale

President

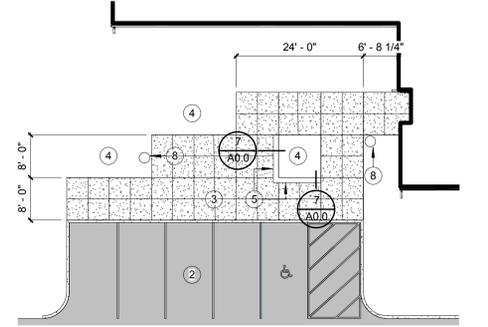
Intermountain Board of Directors



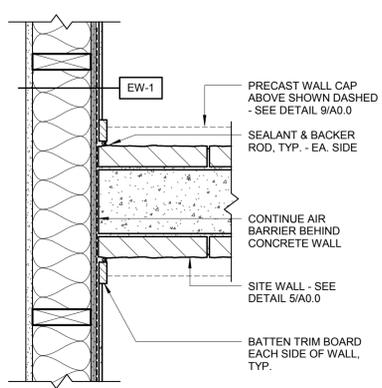
2 Enlarge Entrance Plan  
A0.0 1/16" = 1'-0"



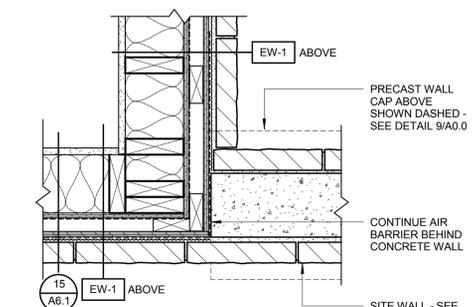
3 Enlarged Patio Plan  
A0.0 1/16" = 1'-0"



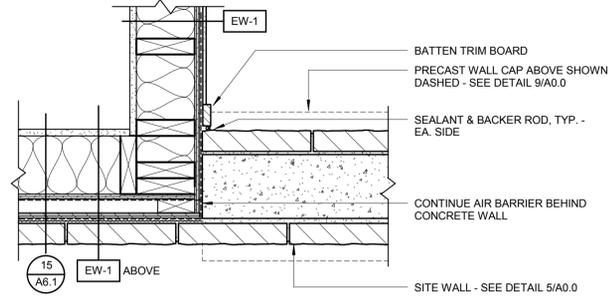
4 Enlarged Public Entrance Plan  
A0.0 1/16" = 1'-0"



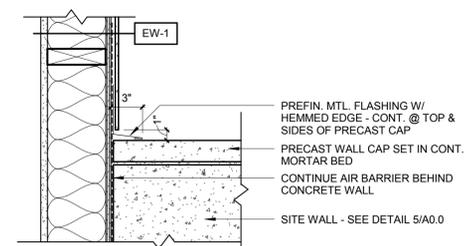
5 Site Wall Plan Detail  
A0.0 1 1/2" = 1'-0"



6 Site Wall Plan Detail  
A0.0 1 1/2" = 1'-0"



8 Site Wall Plan Detail  
A0.0 1 1/2" = 1'-0"

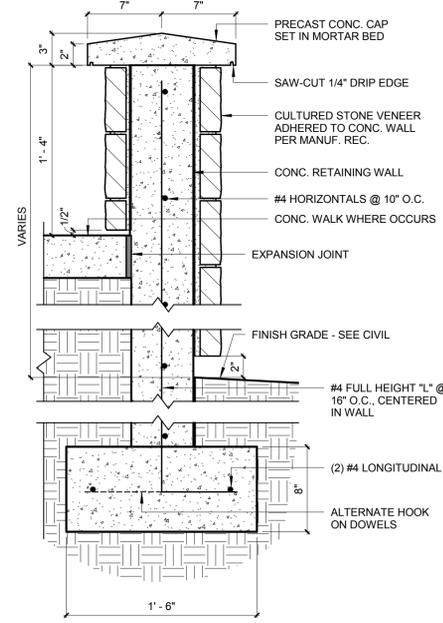


9 Site Wall Section @ Building  
A0.0 1 1/2" = 1'-0"

Keynote Legend - Site	
1	(N) Asphalt drive - see civil
2	(N) Asphalt parking area - see civil
3	(N) Concrete sidewalk - see civil
4	Planting area - see landscape
5	Site wall/retaining wall - see detail
6	Elect. transformer - see elect.
7	Condensing unit - see mech.
8	Bollard light - see elect.
9	Pole light - see elect.
10	Fire supply cisterns - see civil
11	Contractor construction limits - see civil for continuation of site access road, utilities & drain field - coord. w/ owner
12	Gravel access road - see civil
13	6' high chain link fence w/ plastic privacy slats & lockable gate
14	325' - 0" buffer from property line to built elements.
15	Concrete apron, per civil

- General Notes - Site**
- Site work includes all designated walks, pads, curbs and asphalt paved parking areas within the contract boundary. Provide all sitework indicated including topsoil, irrigation, landscaping, seeding, etc. to provide a complete finished site. See Irrigation, Landscaping, Civil and Electrical for extent of work under those subcontractors.
  - Dimensions are typically to face of building, face of wall, edge of walk or paving side of curb.
  - Locate sidewalk control or expansion joints as shown in walks and slabs. If joints are not specifically dimensioned, align with building columns, piers and building offsets, center on openings or align with other building elements as shown.
  - Field verify all existing conditions.

**NOTE:** WHERE SITE WALL AND FOOTING INTERSECTS WITH BUILDING FOUNDATION OR FOOTING, PROVIDE DRILLED AND EPOXIED REINFORCING. DRILLED AND EPOXIED REINFORCEMENT SHALL HAVE A 4" EMBEDMENT AND MATCH FOOTING LONGITUDINAL OR FOUNDATION WALL HORIZONTAL REINFORCEMENT SPACING. TOP OF SITE WALL FOOTING TO ALIGN WITH TOP OF BUILDING WALL FOOTING WHERE SITE WALL MEETS BUILDING.



7 Retaining/Site Wall Section  
A0.0 1 1/2" = 1'-0"



**SCHLENKER & MCKITTRICK ARCHITECTS, P.C.**  
90 SOUTH LAST CHANCE GULCH  
HELENA, MT 59601  
PHONE: (406)442-4933  
FAX: (406)442-4939  
WEB: WWW.ARCHITECTS-SMA.COM

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**PROJECT:**  
Intermountain  
Providence Home

**PROJECT NUMBER:**  
1316

**PROJECT LOCATION:**  
905 N Somers Road  
Kalispell, MT 59901

**PREPARED FOR:**  
Intermountain Deaconess  
Children's Services, Inc.

**LOGO:**



*restoring hope for children*

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**CONSULTANT:**

---

**REVISIONS:**

NO.	DATE	DESCRIPTION

---

**TEAM:**  
DRAWN BY: AH  
CHECKED BY: KF

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**TITLE:**  
Architectural Site Plan

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**REFERENCE:**  
C:\Users\ahf\Documents\1316-Providence Home\_R2014\_ahf.rvt

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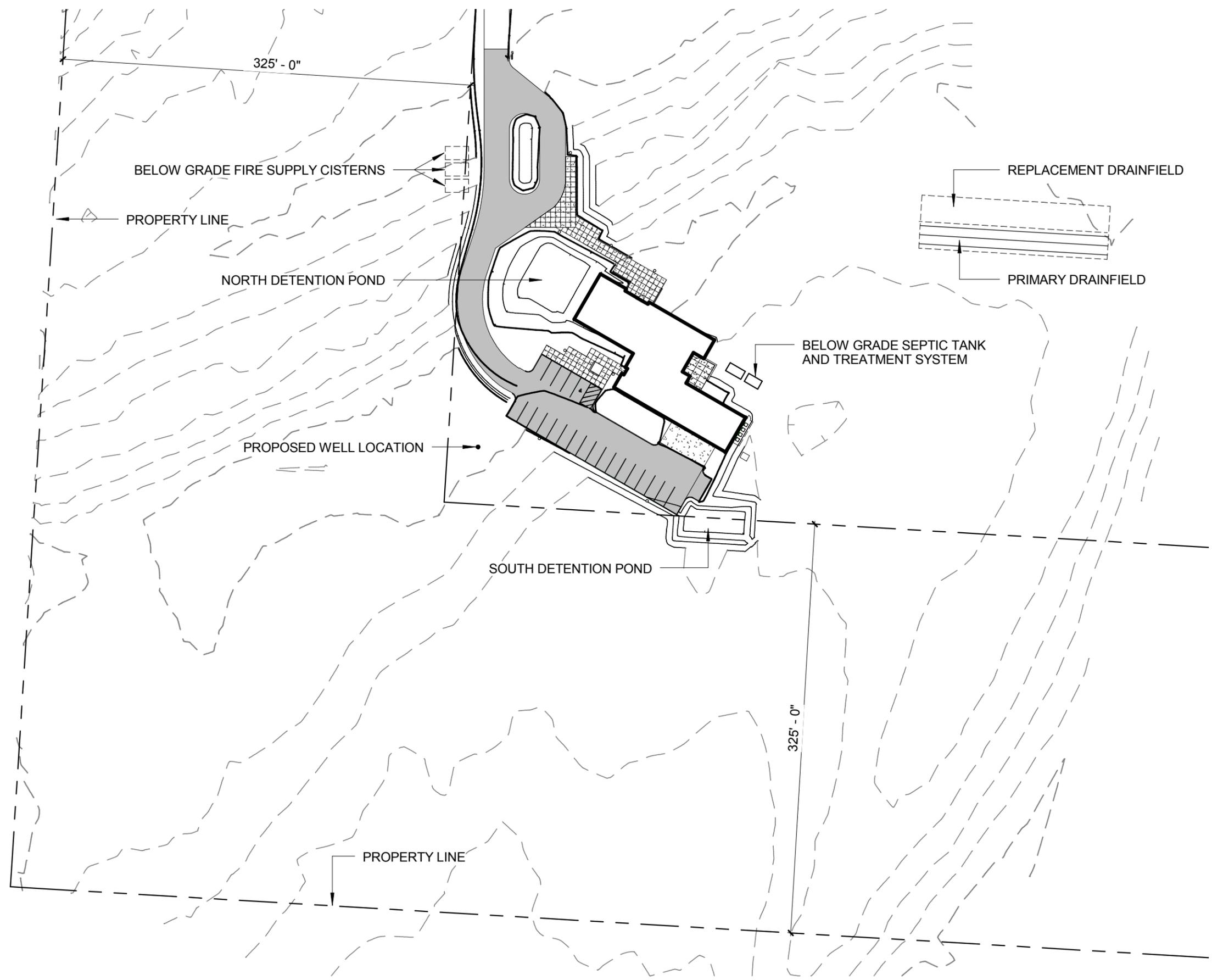
**DATE:**  
Construction Documents  
11.1.2013

**PROJECT NUMBER:**  
1316

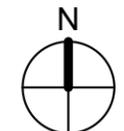
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**SHEET NO.:**  
**A0.0**

copyright 2013 SMA P.C.

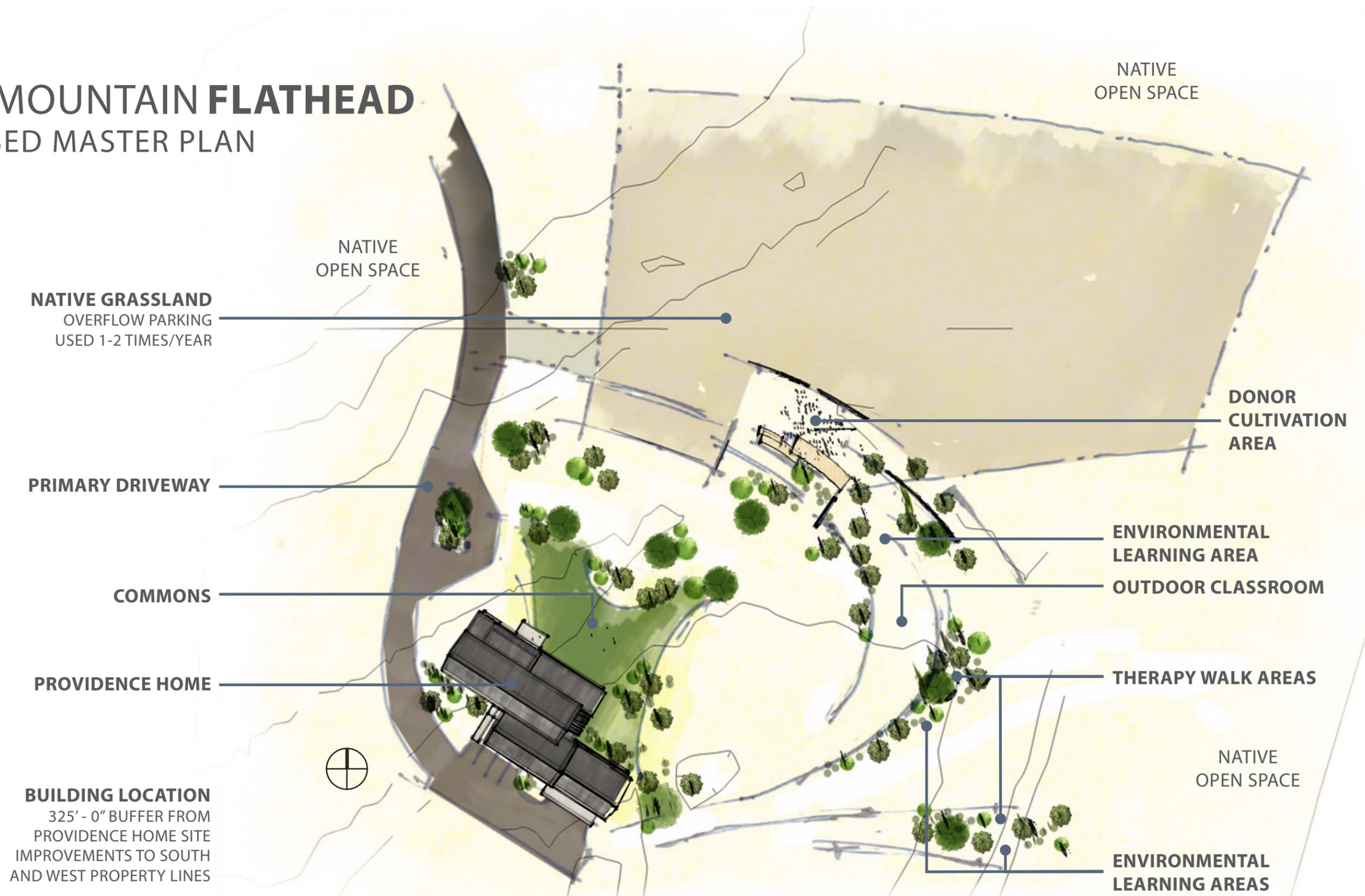


1  
A0.1  
Overall Achitectoral Site Plan  
1" = 80'-0"



# INTERMOUNTAIN FLATHEAD

## PROPOSED MASTER PLAN



**NATIVE GRASSLAND**  
OVERFLOW PARKING  
USED 1-2 TIMES/YEAR

**PRIMARY DRIVEWAY**

**COMMONS**

**PROVIDENCE HOME**

**BUILDING LOCATION**  
325' - 0" BUFFER FROM  
PROVIDENCE HOME SITE  
IMPROVEMENTS TO SOUTH  
AND WEST PROPERTY LINES

NATIVE  
OPEN SPACE

NATIVE  
OPEN SPACE

**DONOR  
CULTIVATION  
AREA**

**ENVIRONMENTAL  
LEARNING AREA**

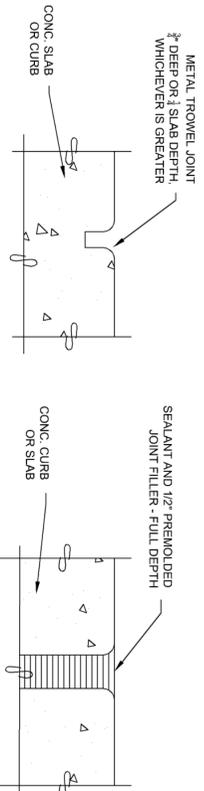
**OUTDOOR CLASSROOM**

**THERAPY WALK AREAS**

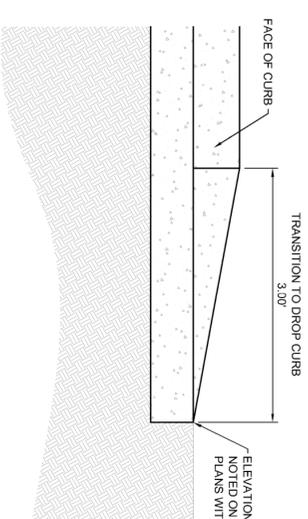
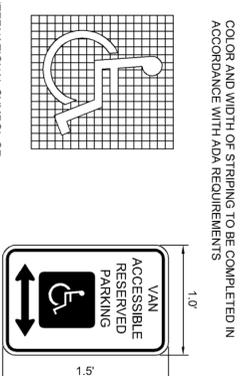
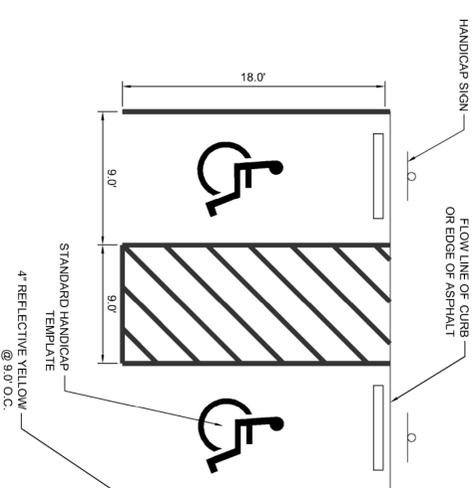
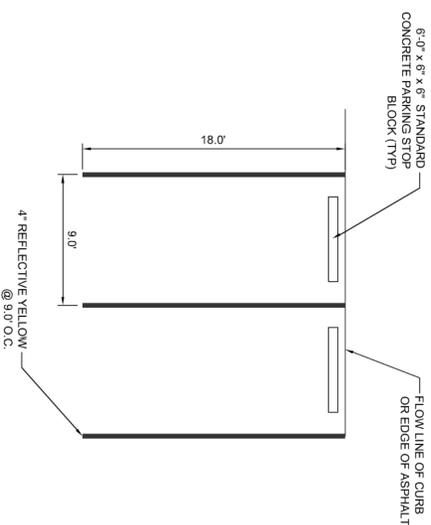
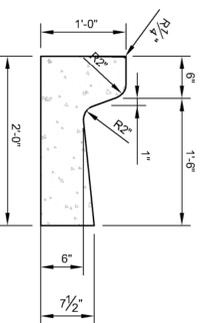
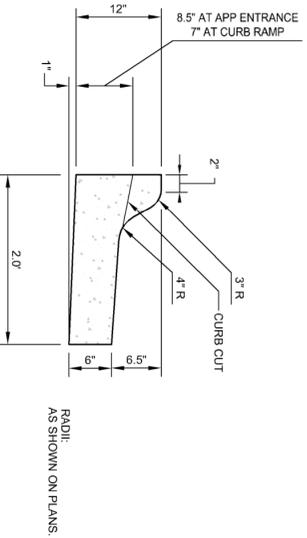
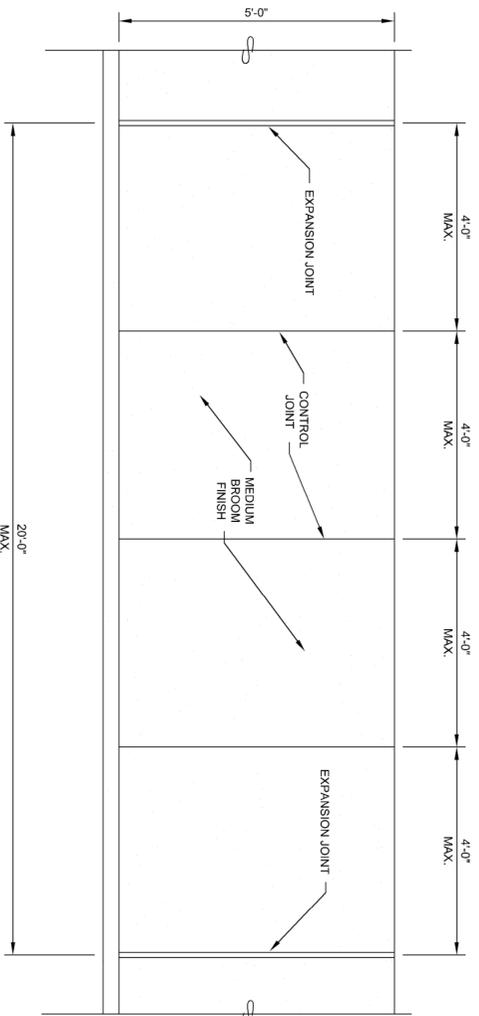
NATIVE  
OPEN SPACE

**ENVIRONMENTAL  
LEARNING AREAS**





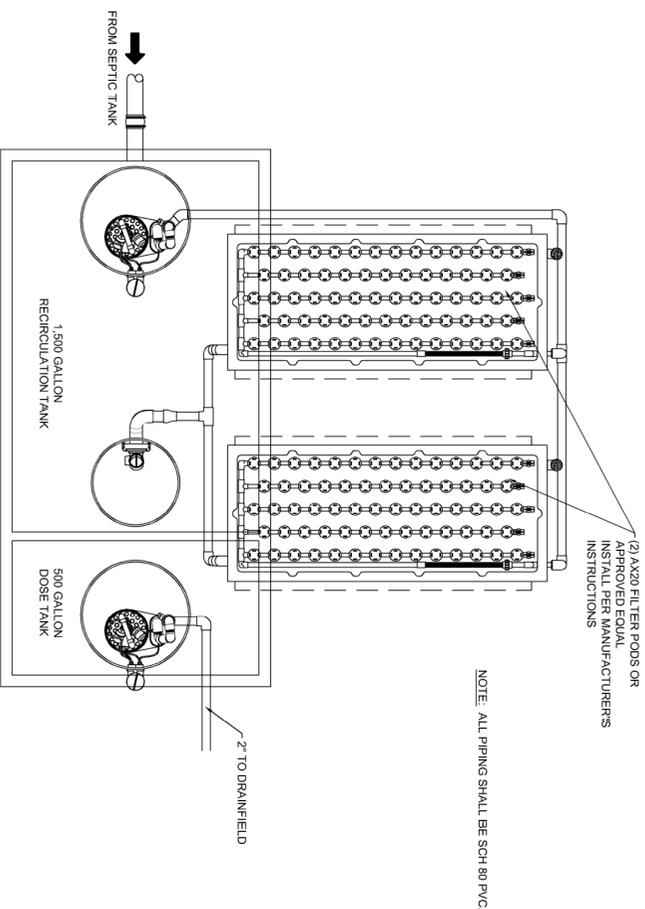
- NOTES:**
1.  $\frac{3}{4}$ " EXPANSION JOINT MATERIAL SHALL BE PLACED AT EACH POINT OF CURVATURE AND POINT OF TANGENCY.
  2. CONTRACTION JOINTS SHALL BE PLACED AT EVERY 15' OF CURB LENGTH AND SHALL HAVE A MINIMUM DEPTH OF  $\frac{3}{4}$ " OR 1/3 SLAB DEPTH, WHICHEVER IS GREATER AND A MINIMUM WIDTH OF  $\frac{3}{4}$ ". CONTRACTION JOINTS SHALL BE CONSTRUCTED BY SAWING OR SCORING. A TOOL SHALL BE USED WHICH REMOVES THE SURFACE AND DESTROY AGGREGATE INTERLOCK FOR THE SPECIFIED MINIMUM DEPTH.
  3. VISIBLE EDGES SHALL BE FINISHED TO A RADIUS OF  $\frac{1}{2}$ ".
  4. CONCRETE SHALL BE M-4000 w/  $\frac{3}{4}$ " MAXIMUM AGGREGATE, MINIMUM 28-DAY STRENGTH OF 4000 psi, 5% TO 8% AIR ENTRAPMENT, AND MAXIMUM SLUMP OF 4".
  5. INDIVIDUAL CONTRACTORS FORMS MAY VARY SLIGHTLY FROM THIS PLAN. DIMENSIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
  6. SIX INCHES OF CRUSHED GRAVEL BASE MATERIAL, 1-1/2" MINUS IS REQUIRED FOR THE SIDEWALK AND CURB & GUTTER FOUNDATION. THE BASE MATERIAL SHALL BE COMPACTED TO 95% DENSITY ( $\pm$  3% OPTIMUM MOISTURE) PER AASHTO T-99.



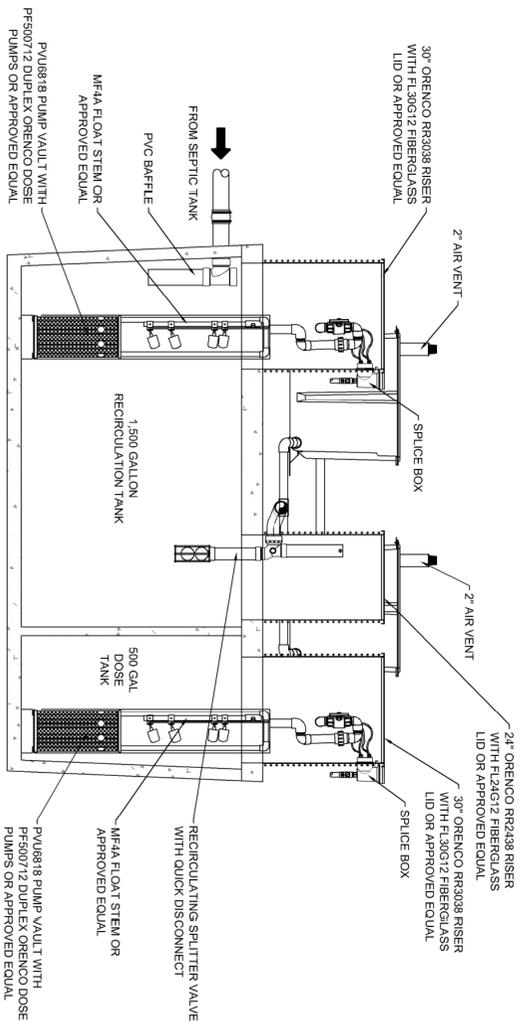
6 HANDICAP PARKING STRIPING AND SIGN DETAIL  
SCALE NTS C2.3

7 CURB TRANSITION  
SCALE NTS C2.3

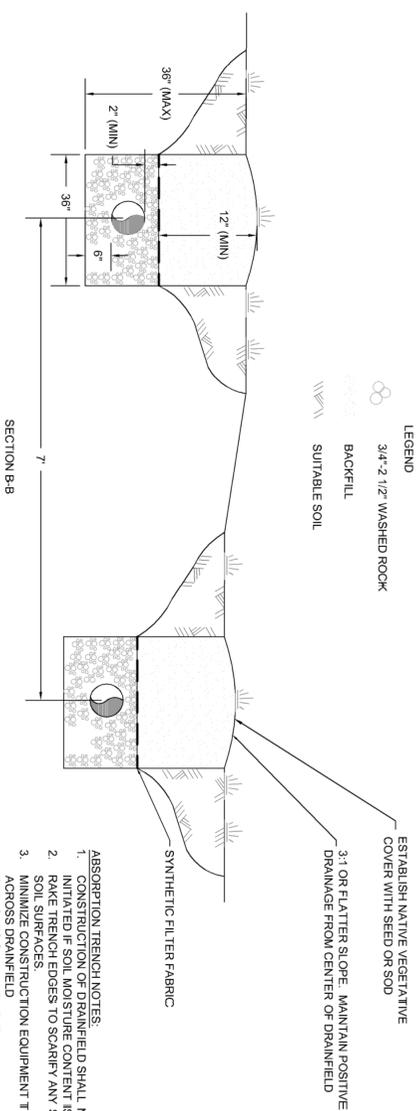




NOTE: ALL PIPING SHALL BE SCH 80 PVC.

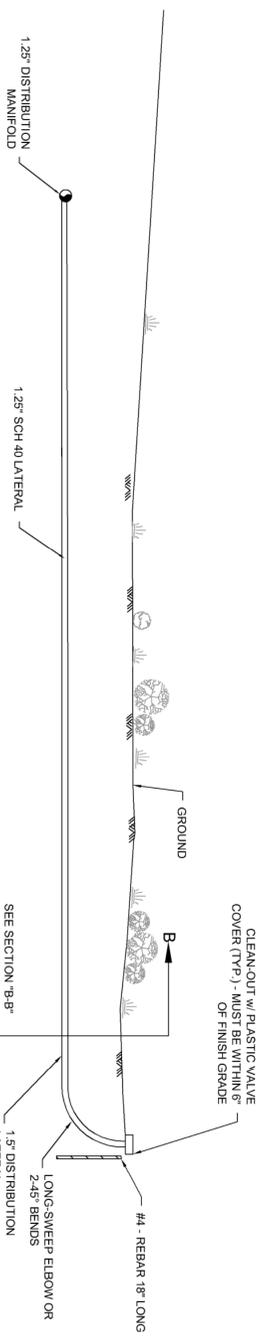


1 PACKAGE ADVANTEX SYSTEM DETAIL  
C1.2 SCALE: NTS

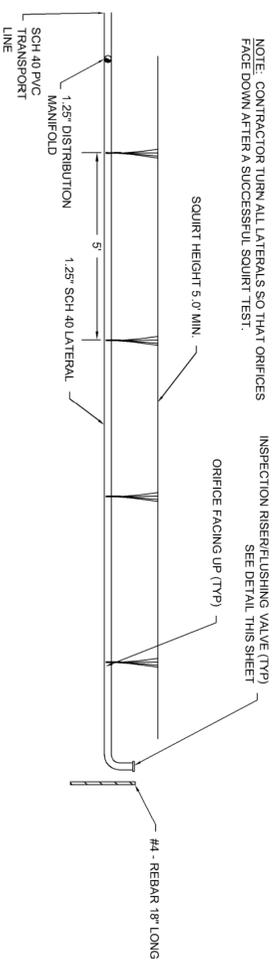


- ABSORPTION TRENCH NOTES:
1. CONSTRUCTION OF DRAINFIELD SHALL NOT BE INITIATED IF SOIL MOISTURE CONTENT IS HIGH.
  2. RAKE TRENCH EDGES TO SCARIFY ANY SMEARED SOIL SURFACES.
  3. MINIMIZE CONSTRUCTION EQUIPMENT TRAFFIC ACROSS DRAINFIELD.
  4. TRENCHES SHALL BE LEVEL.

2 TYPICAL PRESSURE DOSED TRENCH DETAIL  
C1.2 SCALE: NTS



3 PRESSURE DOSED DRAINFIELD PROFILE  
C1.2 SCALE: NTS



NOTE: CONTRACTOR TURN ALL LATERALS SO THAT ORIFICES FACE DOWN AFTER A SUCCESSFUL SQUIRT TEST.

INSPECTION RISER/FLUSHING VALVE (TYP) SEE DETAIL THIS SHEET

4 DRAINFIELD SQUIRT TEST DETAIL  
C1.2 SCALE: NTS



**PROJECT:**  
 Intermountain  
 Providence Home

**PROJECT NUMBER:**  
 1316

**PROJECT LOCATION:**  
 Somers, Montana

**PREPARED BY:**  
 Intermountain Deaconess  
 Children's Services, Inc.

**LOGO:**

**CONSULTANT:**  
  
**MORRISON  
 MAERLE, INC.**  
 An Employee-Owned Company

125 SCHOOLHOUSE LOOP  
 F.O. BOX 8877  
 FAIRBANKS, MT 59804  
 PHONE: (406) 752-2216  
 FAX: (406) 752-2231

**REVISIONS:**

02.17.2014 - Move Building Envelope

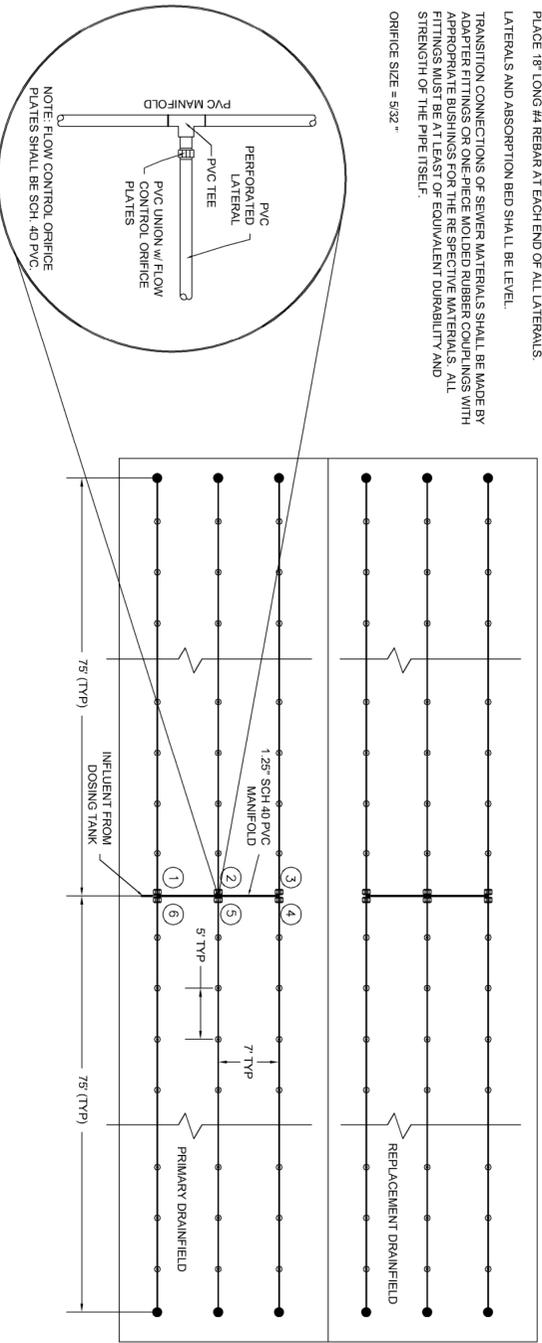
**TITLE:**  
 Septic System Details

**DATE:**  
 1.01.2013

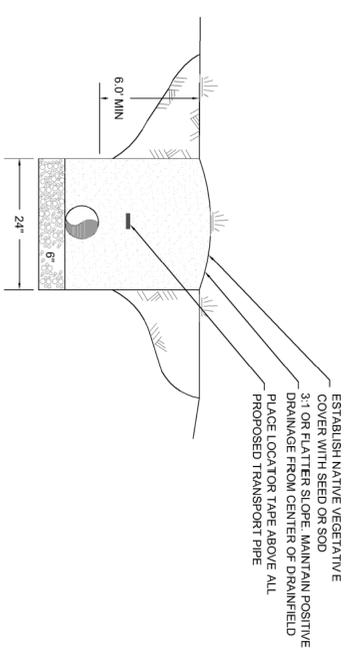
**PROJECT NUMBER:**  
 1316

**SCALE:**  
 AS SHOWN

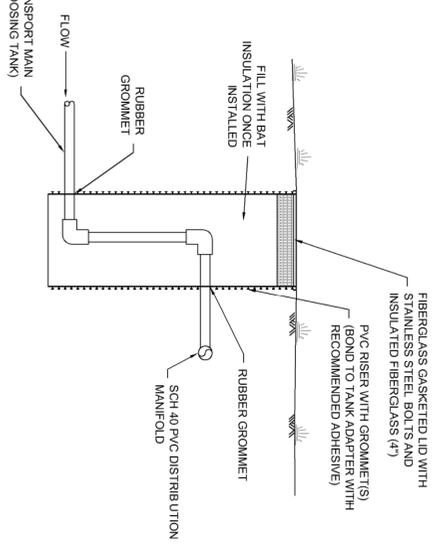
- PRESSURE DISTRIBUTED LATERAL NOTES:**
1. PLACE 18" LONG #4 REBAR AT EACH END OF ALL LATERALS
  2. LATERALS AND ABSORPTION BED SHALL BE LEVEL.
  3. TRANSITION CONNECTIONS OF SEWER MATERIALS SHALL BE MADE BY ADAPTER FITTINGS OR ONE-PIECE MOLDED RUBBER COUPLINGS WITH APPROPRIATE BUSHINGS FOR THE RESPECTIVE MATERIALS. ALL FITTINGS MUST BE AT LEAST OF EQUIVALENT DURABILITY AND STRENGTH OF THE PIPE ITSELF.
  4. ORIFICE SIZE = 5/32"



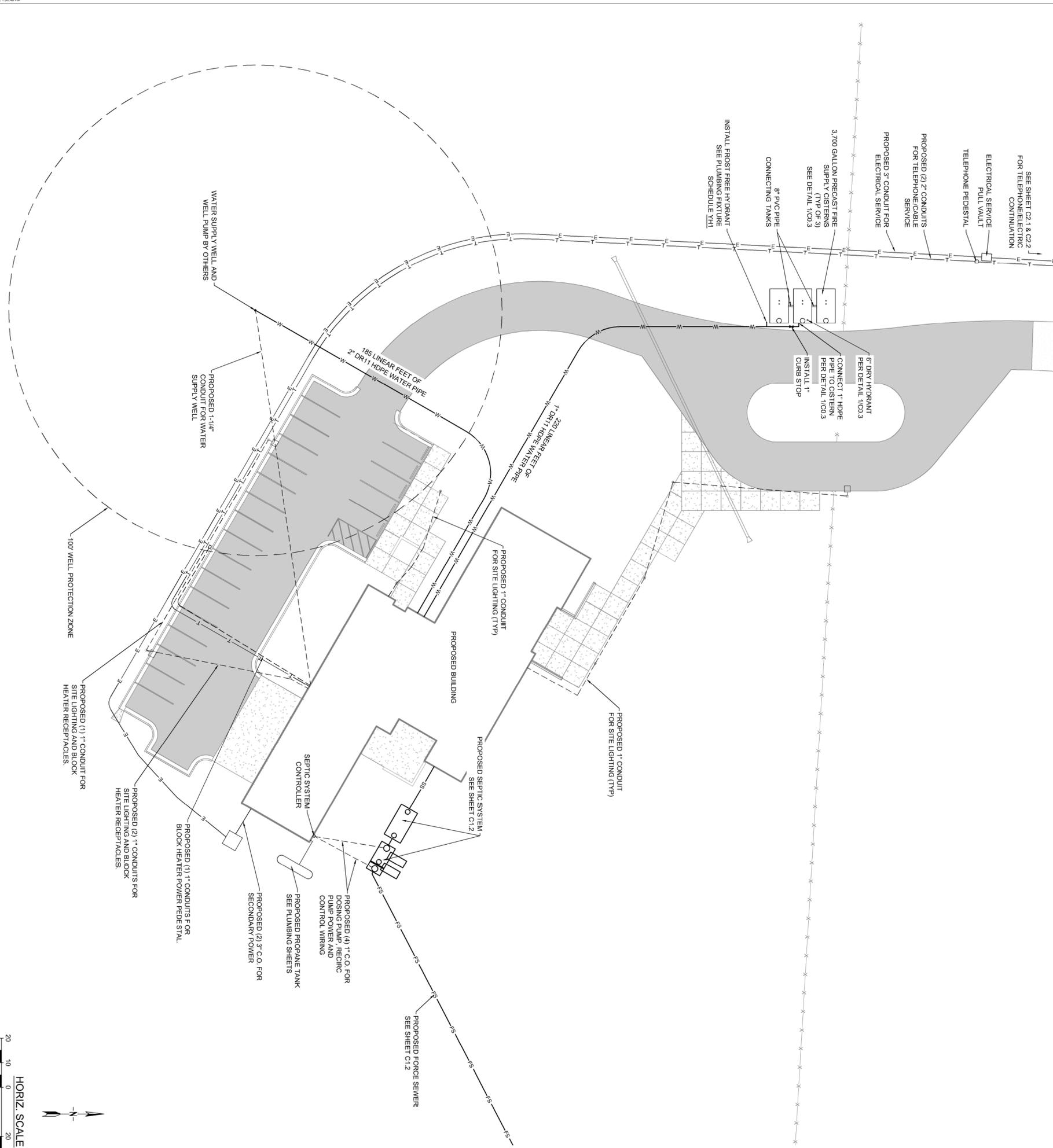
**1** DOSED PRIMARY AND REPLACEMENT DRAINFIELD DETAIL  
 1/1" C1.2 SCALE: NTS



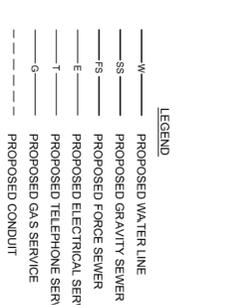
**2** PROPOSED TRANSPORT PIPE TRENCH DETAIL  
 C1.2 SCALE: NTS



**3** TRANSPORT PIPE TO DISTRIBUTION MANIFOLD DETAIL  
 C1.2 SCALE: NTS



- NOTES:**
- SEE MPWSS STANDARD DRAWING NO 02221-1 FOR TYPICAL UTILITY TRENCH DETAIL.
  - WATER LINES SHALL HAVE A MINIMUM COVER OF 6.5 FEET AND SHALL BE IN ACCORDANCE WITH MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS.
  - CONTRACTOR TO COORDINATE CONNECTIONS TO EXISTING UTILITIES WITH GOVERNING PURVEYORS.
  - CONTRACTOR SHALL NOTIFY ONE CALL AND MARK ALL EXISTING UTILITIES PRIOR TO DIGGING.
  - THE LOCATION, DEPTH AND SIZE OF EXISTING UTILITIES SHOWN ON THESE PLANS IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTENCE, EXTENTS, LOCATION, DEPTH, SIZE, LINE AND GRADE OF EXISTING UTILITY CONNECTIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES DUE TO FAILURE TO LOCATE OR PROVIDE PROPER PROTECTION WHEN LOCATION IS KNOWN.
  - THE CONTRACTOR SHALL MAINTAIN SERVICE OF ALL EXISTING UTILITIES. IF SAID SERVICE IS DAMAGED, THE CONTRACTOR SHALL IMMEDIATELY REPAIR THE DAMAGE AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING VALVE BOXES, CURB BOXES, AND MANHOLES TO THE FINAL ELEVATION SHOWN ON THE PLANS UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES OR MANHOLES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR, THIS WORK SHALL BE INCIDENTAL TO THE PROJECT; SEPARATE PAYMENT WILL NOT BE MADE.
  - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
  - ALL WATER AND SEWER LINES MUST BE INSTALLED WITH #4 GAUGE COPPER TRACER WIRE. THE WIRE MUST BE ACCESSIBLE AT ALL VALVES, HYDRANTS, AND CLEANOUT S.
  - SEE ELECTRICAL SHEETS FOR SITE LIGHTING LUMINAIRE SCHEDULE. SEE SHEET E.1.1 FOR LIGHT POLE BASE DETAIL.



INCOMING ELECTRICAL SERVICE DIVISION OF RESPONSIBILITY	ELEC. CONTR.	UTILITY CO.
PRIMARY CONDUIT	X	
PRIMARY CONDUCTORS		X
TRANSFORMER		X
TRANSFORMER PAD / VAULT	X	
TRANSFORMER CONNECTIONS		X
SECONDARY CONDUIT	X	
SECONDARY CONDUCTORS		X
OT ENCLOSURE	X	
DISCONNECT	X	
METER BASE	X	
METER		X

AVAILABLE FAULT CURRENT AT SERVICE POINT: 13,021A @ 120/240V 1P-3W 3XRMK

- NOTES:**
- CONTACT AND COORDINATE ALL REQUIREMENTS AND RESPONSIBILITIES WITH SERVING UTILITY COMPANIES PRIOR TO SUBMITTING BID
  - ALL SERVICE INSTALLATION WORK SHALL BE IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF THE SERVING UTILITIES. COORDINATE TRENCH INSPECTIONS AND FINAL VAULT LOCATIONS WITH UTILITY PRIOR TO INSTALLATION.

**POWER CONTACT: TELEPHONE CONTACT:**

CHAD BESSETTE  
FLATHEAD ELECTRIC  
KALISPELL, MT

COREY HILLS  
CENTURYLINK  
KALISPELL, MT

**MORRISON MAIERLE, INC.**  
An Employee-Owned Company

125 SCHOOLHOUSE LOOP  
PO BOX 8807  
FOULDELL, MT 59804  
PHONE: (409) 752-2708  
FAX: (409) 752-2591

**intermountain**  
*restoring hope for children*

PREPARED BY:  
Intermountain Deaconess  
Children's Services, Inc.

**PROJECT NAME:**  
Intermountain  
Providence Home

**PROJECT NUMBER:**  
1316

**PROJECT LOCATION:**  
Somers, Montana

**DATE:**  
02.17.2014 - Move Building Envelope

**DESIGNED BY:**  
JAC

**CHECKED BY:**  
REB

**TITLE:**  
Overall Utility Plan

**DATE:**  
1.01.2013

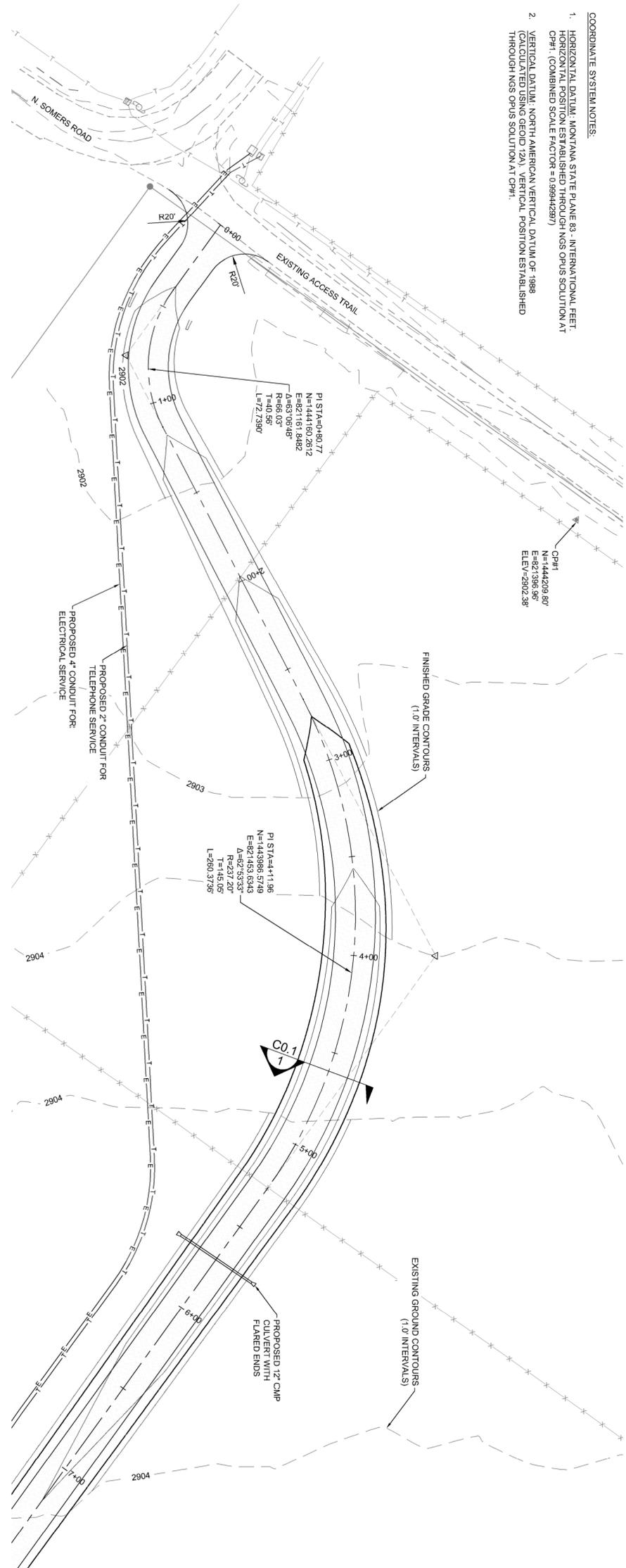
**PROJECT NUMBER:**  
1316

**SHEET NO.:**  
C1.1

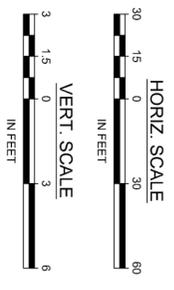
**SOUL EWEER & MATTICK ARCHITECTS, P.C.**  
201 SOUTH WEST GARDEN LANE  
HELENA, MT 59601  
PHONE: (406) 442-2008  
FAX: (406) 442-2008  
WEB: WWW.ARCHITECTS-S&M.COM



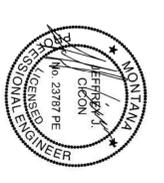
- COORDINATE SYSTEM NOTES:
- HORIZONTAL DATUM: MONTANA STATE PLANE 83 - INTERNATIONAL FEET. HORIZONTAL POSITION ESTABLISHED THROUGH NGS OPUS SOLUTION AT CP#1. (COMBINED SCALE FACTOR = 0.999442897)
  - VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD 83). ELEVATION POSITION ESTABLISHED THROUGH NGS OPUS SOLUTION AT CP#1.



0+00	EG-2901.52 FG-2901.52	STA. 0+00 MATCH EXISTING
1+00	EG-2901.46 FG-2902.15	
2+00	EG-2901.50 FG-2902.78	
3+00	EG-2902.03 FG-2903.41	
4+00	EG-2902.54 FG-2904.04	
5+00	EG-2902.66 FG-2904.66	
6+00	EG-2902.89 FG-2905.29	
7+00	EG-2903.60 FG-2905.92	
8+00	EG-2904.23 FG-2906.49	
9+00	EG-2904.48 FG-2906.70	
10+00	EG-2903.81 FG-2906.60	
11+00	EG-2903.40 FG-2906.46	
12+00	EG-2903.42 FG-2906.32	
13+00	EG-2903.58 FG-2906.19	
14+00	EG-2903.80 FG-2906.05	



**SCHUMBER & MCKITTRICK ARCHITECTS, P.C.**  
 20 SOUTH FIRST STREET  
 HELENA, MT 59601  
 PHONE: (406) 266-2833  
 FAX: (406) 442-2808  
 WEB: WWW.ARCHITECTS-SMA.COM



**Intermountain Providence Home**

PROJECT NUMBER: 1316  
 PROJECT LOCATION: Somers, Montana

PREPARED FOR: Intermountain Deaconess Children's Services, Inc.

LOGO: **intermountain** *restoring hope for children*

CONSULTANT: **MORRISON MAERLE, INC.**  
 An Employee-Owned Company

125 SCHOOLHOUSE LOOP  
 P.O. BOX 8877  
 HELENA, MT 59604  
 PHONE: (406) 752-2216  
 FAX: (406) 752-2291

REVISIONS:

02.17.2014	- Move Building Envelope
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TITLE: **Access Road Plan and Profile Sta 0+00 to 8+00**

DATE: 1.01.2013

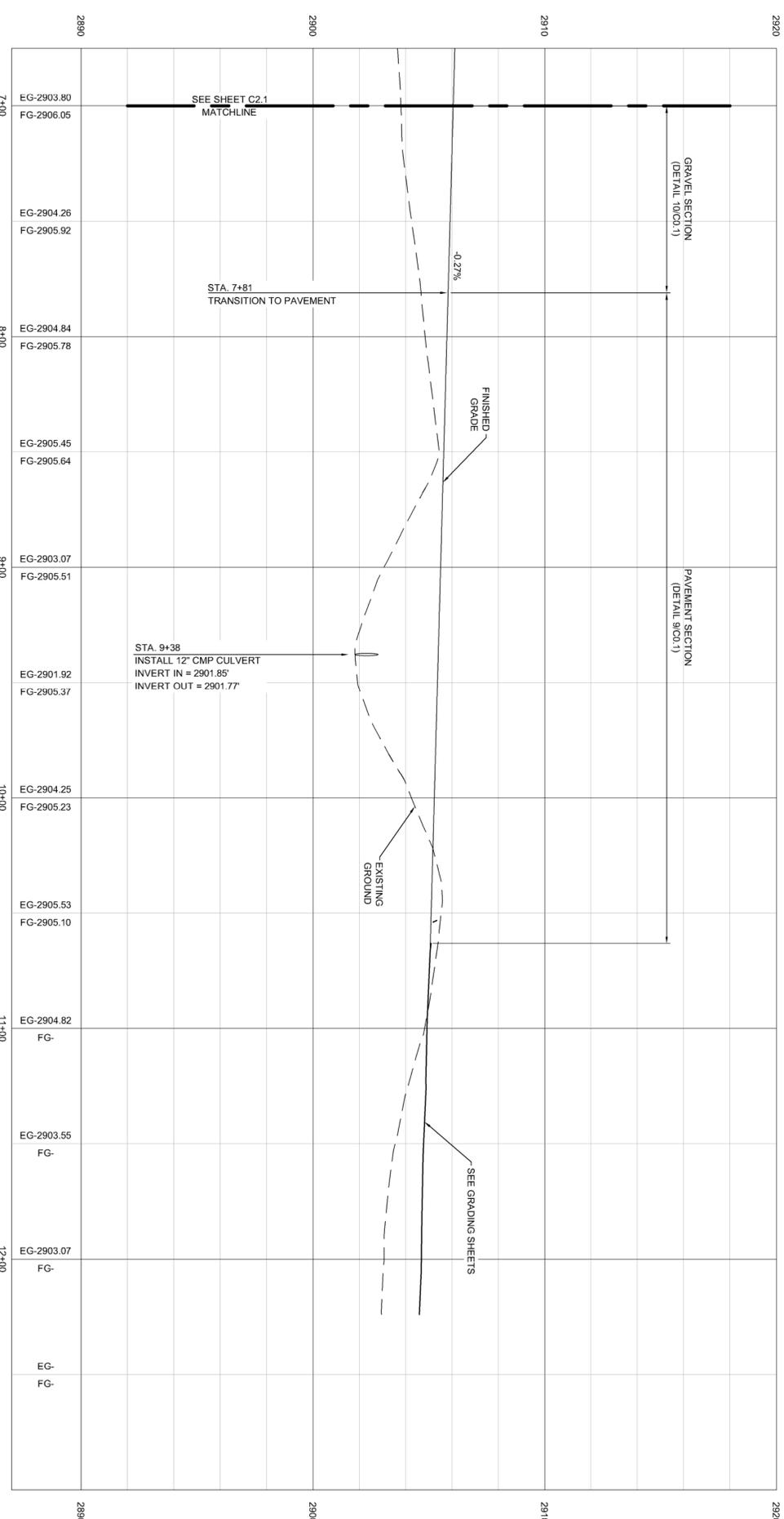
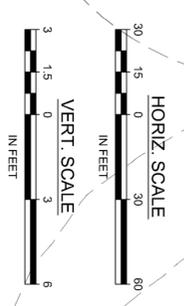
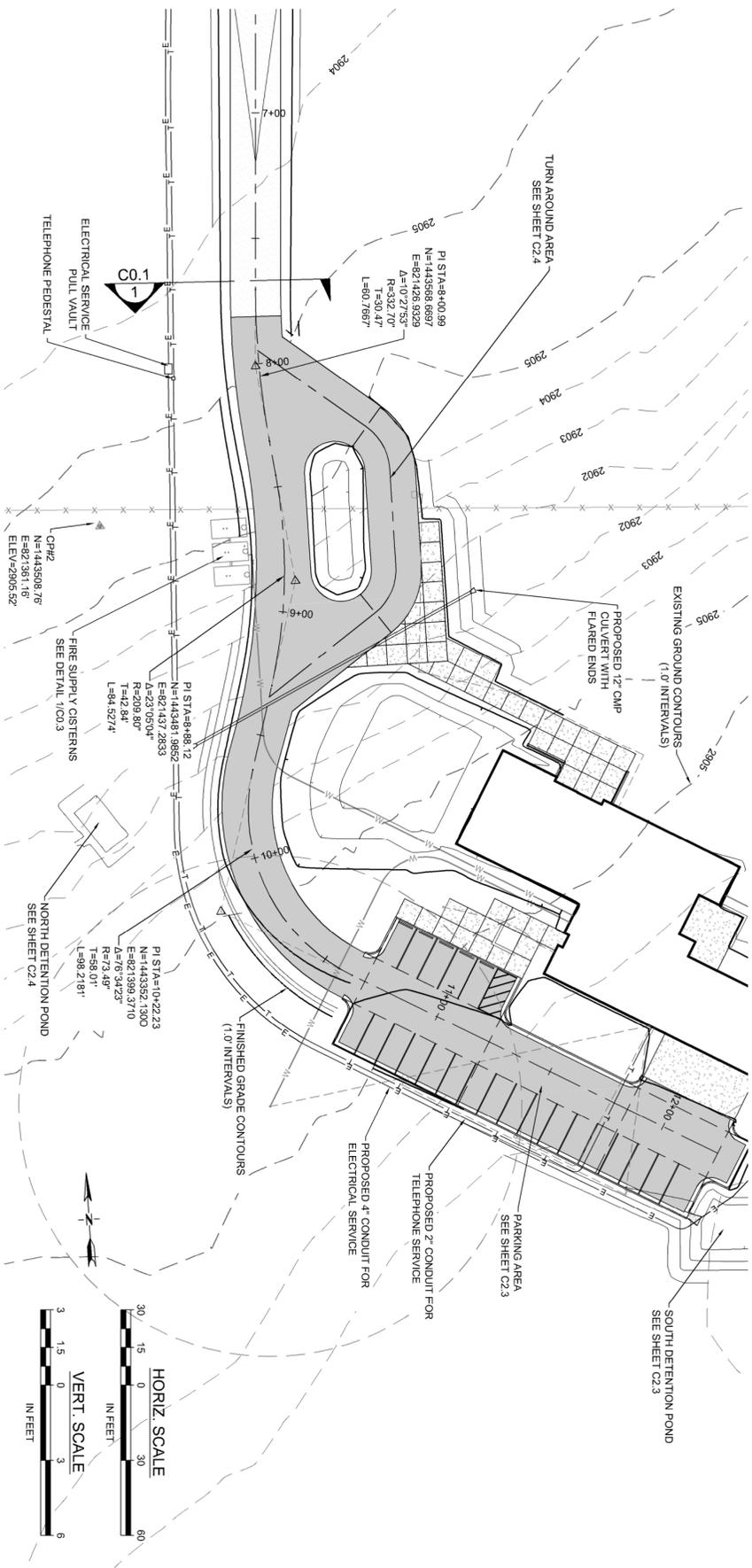
PROJECT NUMBER: 1316

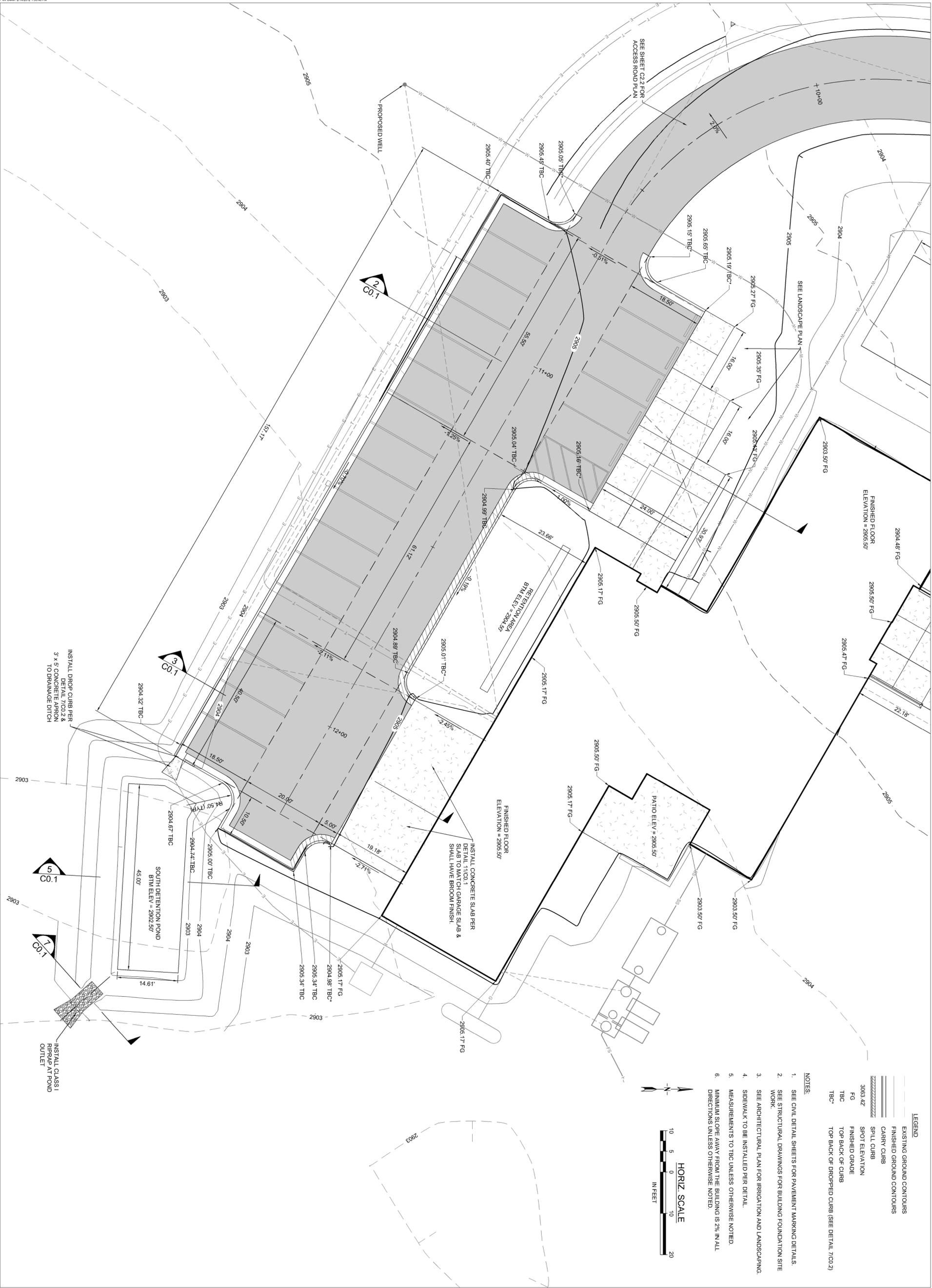
SCALE: AS SHOWN

PROJECT: Construction Documents

SHEET NO: **C2.1**

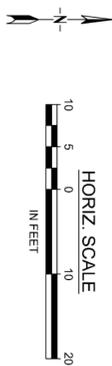
- COORDINATE SYSTEM NOTES:
- HORIZONTAL DATUM: MONTANA STATE PLANE 83 - INTERNATIONAL FEET - HORIZONTAL POSITION ESTABLISHED THROUGH NGS OPUS SOLUTION AT CP#1. (COMBINED SCALE FACTOR = 0.99844291)
  - VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (CALCULATED USING GEOID 12A). VERTICAL POSITION ESTABLISHED THROUGH NGS OPUS SOLUTION AT CP#1.





- LEGEND**
- EXISTING GROUND CONTOURS
  - FINISHED GROUND CONTOURS
  - CARRY CURB
  - SPILL CURB
  - SPOT ELEVATION
  - FG
  - FINISHED GRADE
  - TOP BACK-OF-CURB
  - TOP BACK-OF-DROPPED CURB (SEE DETAIL 7100.2)

- NOTES:**
1. SEE CIVIL DETAIL SHEETS FOR PAVEMENT MARKING DETAILS.
  2. SEE STRUCTURAL DRAWINGS FOR BUILDING FOUNDATION SITE WORK.
  3. SEE ARCHITECTURAL PLAN FOR IRRIGATION AND LANDSCAPING.
  4. SIDEWALK TO BE INSTALLED PER DETAIL.
  5. MEASUREMENTS TO TBC UNLESS OTHERWISE NOTED.
  6. MINIMUM SLOPE AWAY FROM THE BUILDING IS 2% IN ALL DIRECTIONS UNLESS OTHERWISE NOTED.



 <p><b>SCHUMBER &amp; MCKITTRICK ARCHITECTS, P.C.</b> 20 SOUTH WEST GARDEN FLOOR HELENA, MT 59601 PHONE: (409)424-2000 FAX: (409)424-2008 WEB: WWW.ARCHITECTS-SMA.COM</p>		<p><b>Internmountain</b> Providence Home</p> <p>PROJECT NUMBER: <b>1316</b></p> <p>PROJECT LOCATION: Somers, Montana</p> <p>PREPARED BY: LUDOVIC</p> <p> <b>internmountain</b> <i>restoring hope for children</i></p>	<p><b>MORRISON MAERLE, INC.</b> An Employee-Owned Company</p> <p>125 SCHOOLHOUSE LOOP P.O. BOX 8807 HELENA, MT 59604 PHONE: (409) 522-2108 FAX: (409) 522-2291</p>	<p>REVISIONS</p> <p>02.17.2014 - Move Building Envelope</p>	<p>DATE: 11.01.2013</p> <p>PROJECT NUMBER: <b>1316</b></p> <p>SHEET NO.</p>
<p><b>Site Grading Plan</b></p> <p>CONSTRUCTION DOCUMENTS</p> <p><b>C2.3</b></p>					

